

Business of the Arts: DC Permitting Process

<u>Moderator</u>

Kerry Kennedy, Public Art Coordinator, CAH Staff

<u>Panelists</u>

DC Department of Buildings contact, DeeCelia Peoples DC Department of Transportation, Public Space contact, Tiffany Tenbrook DC State Historic Preservation Office, DC Office of Planning contact, Andrew Lewis DC Department of Parks and Recreation contact, Peter Nohrden



FY24 PUBLIC ART BUILDING COMMUNITIES RFA

Qualified individual artists or organizations for Public Art Building Communities Grant Program (PABC)

Application Deadline: Friday, July 17, 2023, 8:59pm

Supports individual artists and organizations in their effort to design, fabricate and install new temporary or permanent works of public art that connect artists (and their artwork) with communities.

Multiple awards in varying amounts.

Individuals:	Requests up to \$75,000
Organizations: BIDs*	Request up to \$125,000
BIDs*	Request up to \$150,000 *Business Improvement Districts

Grant application process is competitive and subject to the availability of funds.

Staff Contact: Kerry.Kennedy@dc.gov



Unity Perch, by Zachary Oxman Shaw Main Street, FY20 PABC – Organization





Warming Waters, by Monica Jahan Bose FY20 PABC – Individuals (Temporary)

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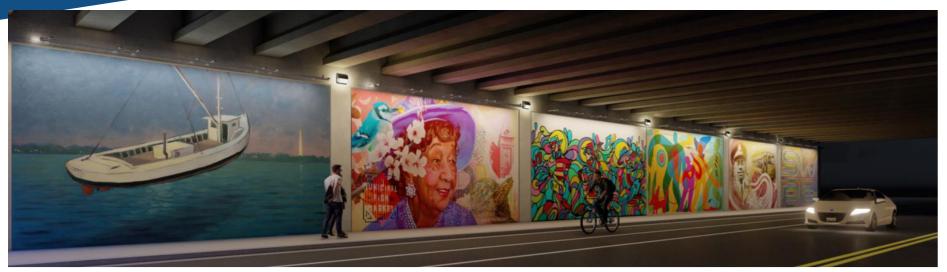


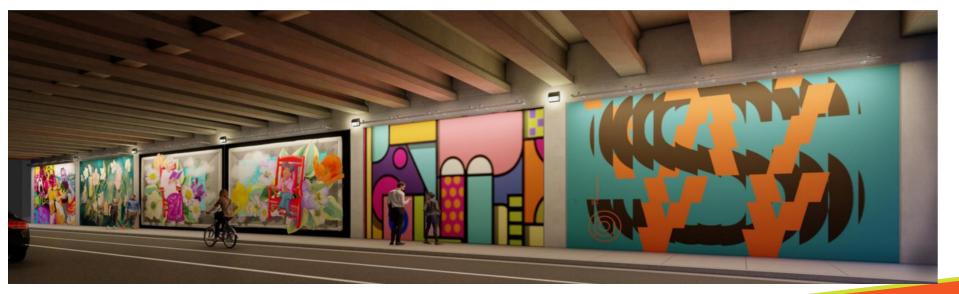
Proposed FY 23 PABC Project

SWBID

Gallery of Southwest: Celebrating the Past, Present, and Future

Location 500-600 4th Street SW - 395 Underpass





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Proposed FY 23 PABC Project

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PROGRAM GOALS

By making its PABC grant awards, CAH endeavors to:

- Encourage the creation and installation of original high-quality public art works within the District of Columbia.
- Develop meaningful opportunities to connect artists to communities.
- Provide exposure and participation to the community in the public art making process.
- Further learning or discovery opportunities that may be present through public art installations.
- Support the creation of public art by DC resident artists.
- Promote robust and diverse artistic expression that resonate with residents of the District of Columbia.
- Contribute to the District of Columbia's public art collection in the built environment.



Permanent vs Temporary

Permanent Projects

More than one year without a deinstallation plan

Temporary Projects

Up to two years and must include a deinstallation plan. Must be removed at the conclusion of its lifespan as part of the grant funding

All projects require minimal routine maintenance

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DC AGENCY PROJECT REVIEW – PERMIT VERIFICATION

- ✓ <u>ALL Applicants MUST submit a written permit verification</u> to identify whether permits and approvals are needed to complete the proposed project from at least (3) of the following DC agencies and offices:
- DC Department of Buildings (DOB) regarding building and occupancy permits.
- DC Department of Transportation (DDOT), Public Space regarding public space permits.
- DC Office of Planning (DCOP) Historical Preservation Office (HPO) Regarding projects impacting historic property or designated areas (Applicants are encouraged to visit PropertyQuest DC to obtain information about project site)
- DC Parks and Recreation (DPR) only if your project occurs in a DC Park.



DC AGENCY PROJECT REVIEW – PERMIT VERIFICATION

- ✓ Written permit verification and agency project review must be provided directly from at least (3) agencies DOB, DDOT, DCOP/HOP, DPR on agency letterhead addressed to CAH.
- Contact information is provided in the Guidelines on Page(s) 18.
 Provide the site location address, plans/illustrations, narrative descriptions that explain exactly what is being proposed.
- ✓ Plan early and contact the agencies regarding their processes to obtain written verification.
- Applications without written permit verification will be deemed incomplete and considered ineligible.



Applicants are encouraged to visit PropertyQuest DC to obtain information about the location of your project. This website identifies whether the address of your project is located within a historic district, affects a landmark, or owned by the District of Columbia and/or in public space.

Visit <u>https://propertyquest.dc.gov/</u>. Enter the address to determine whether the address of your project will be impacted by these further approvals. However, you still must reach out to all these entities to determine whether permits are necessary and other construction/installation requirements and permits.

DC COMMISSION & ARTS & HUMANITIES

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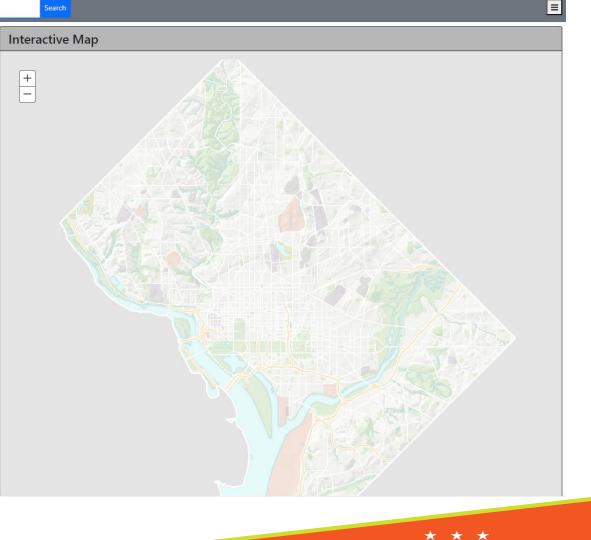
PQ Find an address or lot

About PropertyQuest

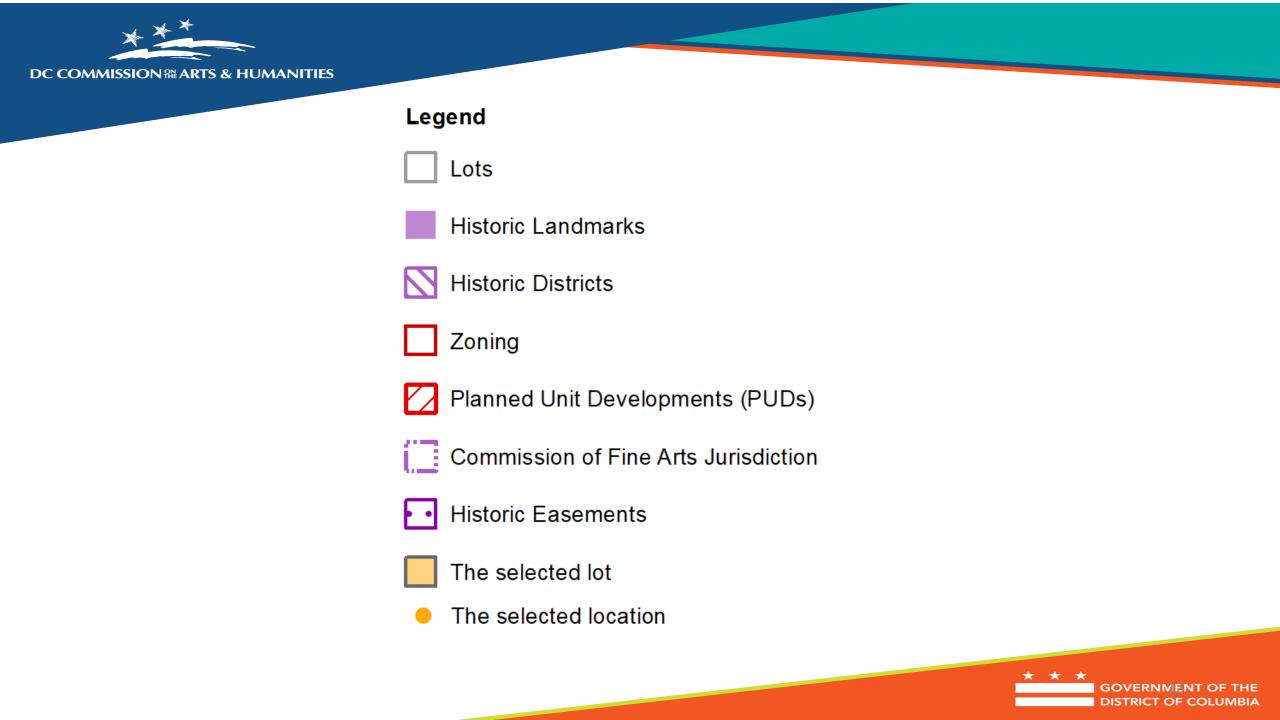
DC's Office of Planning created this site to show a wide range of site-related information easily, especially for historic resources.

PropertyQuest draws from databases provided by other DC agencies. Information is presented here for planning purposes only. Please consult the source agencies for definitive answers, or see the Help for more details.

PropertyQuest now includes 2021 air photos.









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Site Related Information

Highlights

- Site of White House, The
- In the Commission of Fine Arts jurisdiction area

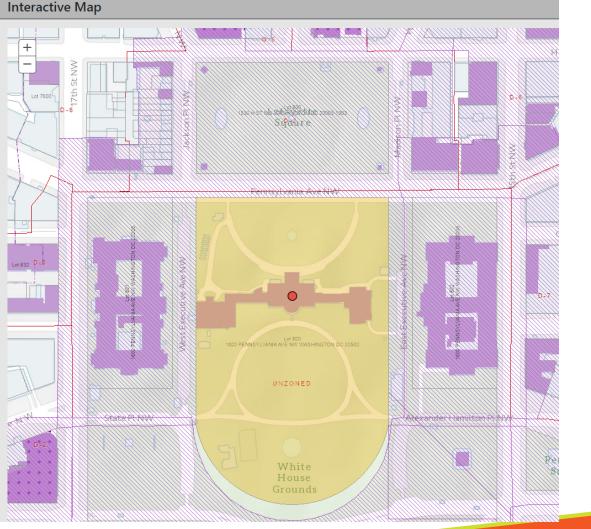
Basic Information

1600 PENNSYLVANIA AVENUE NW	
SSL (Square, Suffix & Lot)	01875 0800
Lot type	tax lot
Ward	Ward 2
ANC	ANC 2A
SMD	SMD 2A07
Neighborhood Cluster	Cluster 45
Police District	Second Police District
Police Service Area	PSA 207
Voting Precinct	Precinct 2
Zoning	UNZONED
2020 census tract	<u>9800</u>
2020 census block group	1
2020 census block	1034

Ownership and Taxes

Tax lot	01875 0800
Premises	1600 PENNSYLVANIA AVE NW WASHINGTON DC 20500
Owner	UNITED STATES OF AMERICA
Care of	ANDREW FRIE
	1054 FOREST COURT APT 17
	ROLAND PARK KS 66219
Use	Special Purpose-Misc
Land area	787439 square feet
Tax rate	\$1.89 per \$100 assessed value
Current assessment (2023)	
land	\$1,166,228,660
improvements	\$31,176,660
total	\$1,197,405,320
Proposed assessment (2024)	
land	\$1,189,552,600
improvements	\$31,176,660
total	\$1 220 729 260

Interactive Map



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The Department of Buildings

Office of Construction and Building Standards Permit Overview Workshop

DOB's Mission Statement

The Department of Buildings (DOB) supports a thriving community of residents, businesses, and visitors through diligent protection of health and safety and equitable administration of regulation and compliance in our District.





About ME Christopher M. Bailey | Deputy Chief Building Official, Office of Construction and Building Standards The Department of Buildings

Agency Divisions

Office of Construction and Building Standards Inspections and Compliance Division Vacant Building and Housing Abatement

Independent Agency Departments

Office of the Zoning Administrator Office of the Surveyor



Agenda

When is a permit required ➤Types of Permits Permit Process Permit Applications Permit Wizard Certificates of Occupancy >C of O Process Internal Application Systems ➢ProjectDox



When is a Permit required

A permit is required to **any new construction** unless classified as exempt. Most new residential and commercial construction need a building permit in addition to building plans. If so, the plans must be designed to the current building code and local design criteria. A site plan may be necessary based on the land disturbance activity of the construction on your property.

- Construction, Additions, alterations, or repair of existing buildings
- Demolition
- Razes
- · Construction of retaining walls, fences, sheds, garages, or vault construction
- Erection of signs or awnings
- Layout of interior space for tenants in new or existing commercial buildings

*Unless specified under the 2017 Building Code 105.2 for work exempt from a permit.

** Sister agencies may be assigned to review your application. All required approvals are needed to issue a permit.



When a Permit is NOT required

- Brick pointing
- Caulking, patching, and plaster repair
- Installation of cabinets and architectural
- Millwork in kind
- Installation of window screens and storm windows
- Repair of existing fences with like materials
- Retaining walls that are not over four feet (1219 mm) in height, measured from the bottom of the footing to the top of the wall, for one and two family dwellings only where the area of land disturbance is less than 50 square feet (4.65 m2)
- Construction of garden storage sheds does not exceed 50 square feet (4.65 m2) in area, is less than ten feet (3048 mm) in overall height,
- Painting, but not painting with fire-retardant paint.

*Unless you are in a historic district, the following work does not

require a building permit:



Types of Permits

Construction Permits

 A variety of permit applications based on the scope of work. (Fence, Retaining Wall, Signs, Alteration and Repair, Deck etc.,)

Trade Permits - Permits are fully online and issued immediately upon payment.

- Electrical
- Plumbing and Gas
- AC Mechanical
- Elevator
- Boiler
- Shop Drawing Applications





Post Card Permits (Instant Permits)

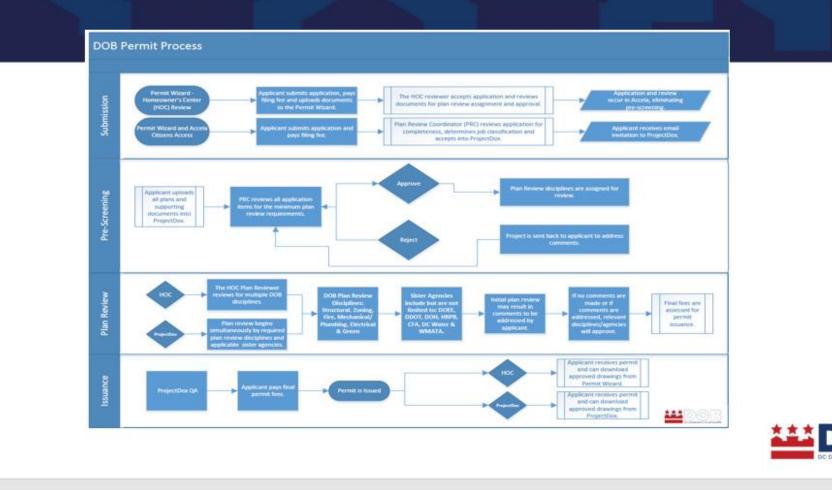
Cannot be used for historically designated properties.

- Simple and small scopes of work that do not require plan review.
- Can be used for both residential and commercial structures
- Includes trade permit scopes
 - Post Card Electrical General Permit
 - Post Card Electrical Heavy Up Permit
 - Post Card Gas Fitting Permit
 - Post Card Mechanical Permit
 - Post Card Plumbing Permit

BUILDING POST CARD PERMIT			
		PERMIT NO.	BP2202836
Address of Work: 1100 4TH ST SW, WASHINGTON, DC 200	24		
OwnensiAgent Name: Usgb/ Waterfront Station Lic, Nneka Shelton			
Type of Work:			
Alteration		FEE:	36.30
Description of Work: Interior demotition of non-bearing elements in a space up to 5,000 5	iq		
	iat		
Interior demolition of non-bearing elements in a space up to 5,000 S Contractor's Name:	Contractor's		
Interior demotition of non-bearing elements in a space up to 5,000 S	Contractor's	Address: lenarden, Ma 20756	
Interior demolition of non-bearing elements in a space up to 5,000 S Contractor's Name:	Contractors 1916 1st, 0 Applicants S	lenarden, Ma 20796	



Permit Process



Permit Intake

Application is accepted by DCRA with supporting documents and plans for screening to ensure completeness
 Necessary review disciplines are identified to initiate plan review

Plan Review

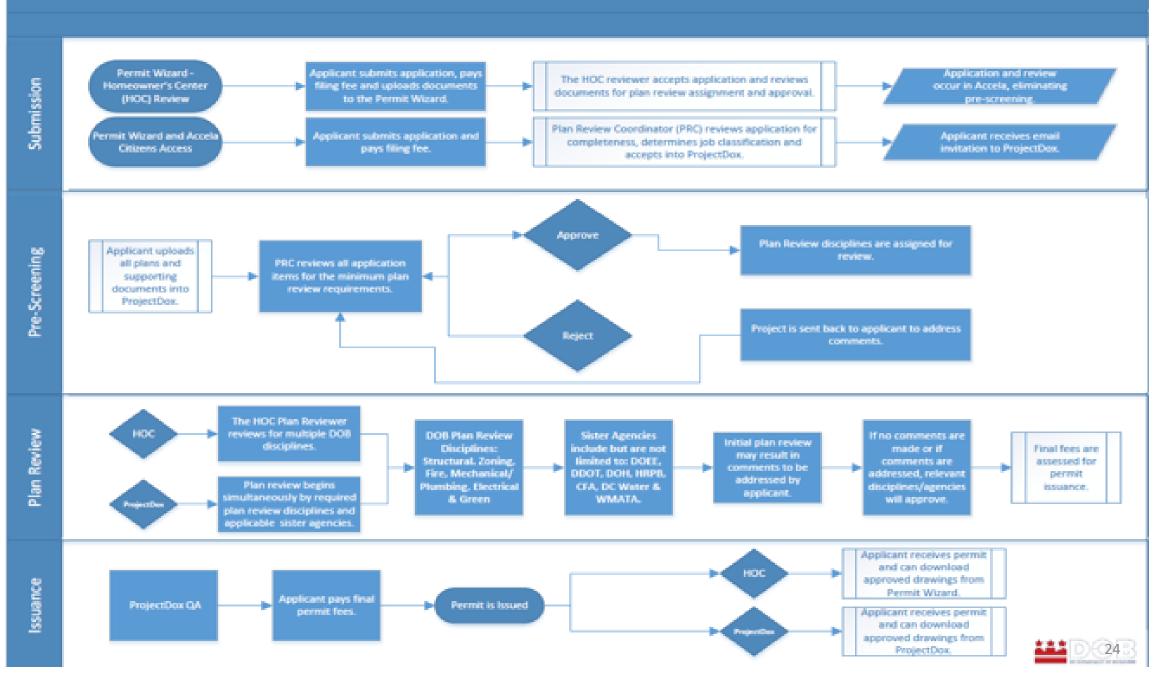
oThe application package is reviewed by designated review staff

olf unable to approve, the reviewer will provide comments on project deficiencies

Permit Issuance

oOnce all approvals have been secured, remaining fees are paid, the permit will be issued

DOB Permit Process



JOB CLASSIFICATIONS – Plan Review Service Level Agreements by Scope of Work

Homeowner's Center Applications DOB's Service Level Agreement: Next Business Day	Digital Walk-Thru (E) DOB's Service Level Agreement: Next Business Day	Filed Projects DOB's Service Level Agreement: 25 Business Days		
Applications for owner occupied One- and Two- Family Homes Only Driveway from alley only – New Drywall – Repair/replace not more than 500 sq. ft. Fences – New/replacement, excluding fences that cross driveways and/or in front of house. Interior remodeling/alteration and repair – No more than 750sq. ft. including bathrooms, dtchens without structural wall changes,	Reviewed via ProjectDox, DOB's plan review platform, Plan sets are limited to 9 sheets maximum Alteration, Repair and Replacement – Less than 1,000 sq. ft. (total work area); Excluding the following: 1. New public utility connections (electric, gas, water/sewer) 2. Change in use or occupant load 3. Food, licensed medical facility, childcare, or	Reviewed via ProjectDox Two-Family Conversions with no work – Provide drawings with (MEP) plans required for building permit and inspection approval Accessory Structures (shed, garage) – Less than 3,000 sq. ft. Additions Alteration/Repairs greater than 1,000 sq. ft.	Pools greater than 400 sq. ft. All Enclosures (enclosing a deck/porch) Any job not specifically listed in one of the other categories.	
valls, impact on party walls hterior non-load bearing wall demolition (less han 1,000 sq. ft.)	Community Residential Facility (CRF) uses. 4. Projects requiring neighbor notification. 5. Projects increasing the number of bathrooms and bedrooms. 6. Any walls removed or rearranged	Antennas (installation and removal) Capacity Placard Interior and Exterior Demolition greater than 5,000 sq.	If you have questions,	
Parch and Steps – Repair to existing on private property	Decks - last then 10° from grade and last then 1000	Excavation	please <u>email us</u> . For expedited reviews within ou	
Retaining Walls – Less than 4 ft. in height maximum, measured from bottom of footing (on private property) Accessory Structure (Garage/Shed) – No more than 500 sq. ft. and 15 ft. high; alteration and	Interior Demolition less than 5,000 sq. ft. Retaining Wall - 4 ft. to 6 ft. height maximum, measured from bottom of footing (on private property)	Projection into Public Space Retaining Wall - greater than 6ft in height measured from bottom of footing Tenant Layout	Accelerated Plan Review Program, please <u>email us</u> .	
epair of existing structures; no change in use Addition to Single-Family Dwelling – Up to 500 sq. t.; no more than 1 story high at ground level; no barty walls, no removal of exterior or load bearing wall Decks – Less than 500 sq. ft., less than 10 ft. above grade (Must use DOB's Deck Guide)	Exterior Building Cleaning with water, chemical or sand blasting (waterproofing) Awnings or Canopies (on private property) Sign(s) less than 20 sq. ft. in area (on private property) Special sign(s)	Sidewalk Café Construction Swimming Pool – Over 400 sq. ft. Tower Cranes Solar Reviews (15-business days)	CLASS CATEGORIES AA- 10,000 sq. feet or more A- 6,000 sq. feet – 10,000 sq. fee B- 4,000 sq. feet – 6,000 sq. feet	
Window/Door Replacement/Repair – If a property is in a Historic or Commission of Fine Arts CFA) jurisdiction, approval must be obtained before application for a permit	Repairs to Existing Porch and Steps on private property (Excluding row houses) Underground Storage Tank	Third Party Oversight Reviews New Building/Construction Sheeting and Shoring	C- 2,000 sq. feet – 4,000 sq. fee D- 2,000 sq. feet or less (include ALL additions) E- 1,000 sq. feet or less	
Roof Repairs/Replacement – No structural changes MUST BE SUBMITTED BY THE HOMEOWNER OR WITH THE HOMEOWNER'S AUTHORIZATION	Christmas Tree or Fireworks Stands Pool(s) less than 400 sq. ft. Soil Borings	Underpinning Revisions of issued permits greater than 1,000 sq. ft. Decks greater than 500 sq. ft. and Roof Decks		
	Tent/Stage (for special events only) No Addition(s)		GOVERNMENT OF THE DISTRICT OF COLUMBIA	



Permit Applications

Accela Citizens Access Portal

- All commercial construction permit applications
 - Apartment, Condominiums, Business Uses, Education and Health Facilities
- All trade permit applications
- Postcard Permits
- Certificate of Occupancy (Ownership Change applications)
- Home Occupation Permits
- Surveyor Office (Requesting a plat)







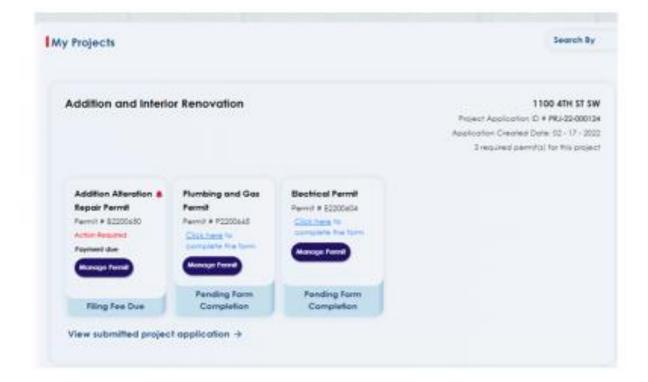


Permit Applications

Permit Wizard Application

NEW! Wizard-based approach that identifies the permits needed for an entire project based on the customers response to a series of questions.

- Residential construction permit applications
- Includes both residential and commercial the trade permits
 - Electrical, Plumbing & Gas and AC Mechanical







Permit Wizard Approach

The Permit Wizard identifies all elements required, from the beginning to end of your project.

- The required documents you will need to prepare and submit.
- The anticipated plan reviews that will be assigned to review your project.
- The required inspections for scheduling once construction begins.

ext Steps	1100 4FH 3F SW MASHINGTON, DC, 2002
is additional details become to his page, please visit the Perv	hat was entered during the project application process. Ouring plan review, additional fees, documents, inspections and reviews may be requires on about your project. Also, to complete your project application, the filing fee or each permit is due at the time of submission. After reviewing Mizard Dashboard to see if any fees are due for the permits associated with your project. If there is no balance due at this time, the remaining application is approved and you have received notification that your permits are ready for issuance.
We have created the following pe	it applications for your project. You must complete these permit processes prior to beginning work on your project.
Rosed on your selection of the Tr	Permit questions on the Building Permit Form, you will need to apply for the following Trade Permits.
Addition Alteration Repair Po	et (82250650) Total Estimated Rest : \$133.52 Filing Fee Due : \$159.58 Rest2101 Montos of Newton (Newton)
Required Documents	After paying filing fees, unless you have already done so in the Permit Wizard, the following documents will be required to be submitted us Projections, a complementary plan submission and plan melew platform used by DCRA. If applicable, after your application is submitted, reviewed and accepted, an invitation will be emailed to you from pdafermultina@it.gov to begin using the platform. 1. Contract Agreement, 2. Floer Plan - Layout Incl Walls, Doors, Windews, 3. Floor Plan - Plumbing, Electrical, Mechanical Equipment, 4. Plans, 5. Plat
Anticipated Reviews	You will be notified of the reviews to take place and the plans and documents needed to complete your pennit review during the pre- screening of your project. 1. Electrical, 2. Energy, 3. Mechanical/Plumbing, 4. Structural, 5. Zoning
Required Inspectiens	Plan on scheduling the following impections during and after work. For more information on construction impections, statt does all gov or to schedule an impection, call 202.442.9557. 1. Building Final, 2. Building Framing, 3. Building insulation



7-Business Day SLA for all other types of applications: The application and supporting documentation is screened and accepted for review.

Each division shall review and approve the C of O application within 7-business days from the date of application acceptance

The SLA clock stops:

Until the division receives information requested from the applicant (when applicable); or When an inspection is required.

C of O application and supporting documents submitted to COAPP@dc.gov

- 1-Business Day SLA for change of ownership applications only: If it meets the following standards:
- No change other than the ownership;
- No construction activity has occurred;
- The prior C of O was issued less than 10 years ago and does not require an inspection;
- The use listed on the issued C of O is the same as the proposed use.

These applications are applied for online at https://aca20.dcra.dc.gov/CitizenAccess/Default.aspx

Certificate of Occupancy

What is a C of O?

A C of O is a document that certifies that the use of a building complies with Building Codes and Zoning regulations.

- A C of O is required for new building construction or changes in:
 - Ownership
 - Use
 - Occupancy Load
- A C of O is not required:
 - Single family homes, community residential facilities of six or less disabled persons, individual units in an apartment building, and individual suites in an office building <u>do not</u> require a C of O.
 - Accessory apartments do not require a C of O.





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Main Contact:

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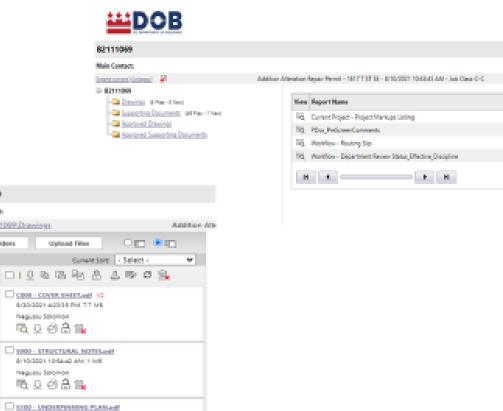
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Internal Applications Systems

ProjectDox

Primary platform for which plan reviews are conducted for all construction permits.

- Pre-screen reviews are tracked in • this platform once an application has been status as "ProjectDox Accepted".
- You can view full project history, to include actions taking by the applicant and associated application documents.





Helpful Website Links

- I. Overview of Permitting Process
- 2. <u>Different Permit Types and Requirements</u>
- 3. Certificate of Occupancy
- 4. Plan Review Services
- 5. Building Permit Fee Schedule
- 6. Zoning Services
- 7. <u>Surveyor Services</u>



Connect with DOB

DOB@dc.gov

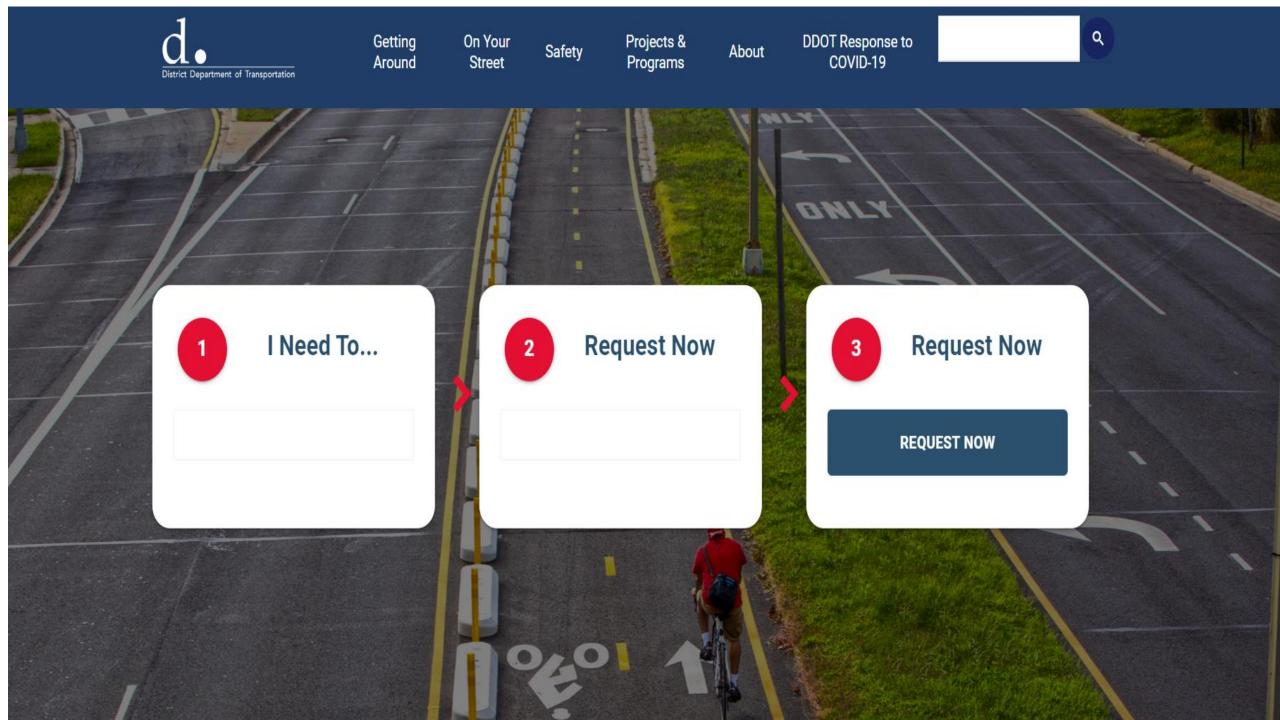
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- facebook.com/deptofbuildings
- twitter.com/DC_DOB
- instagram.com/deptofbuildings







DISTRICT DEPARTMENT OF TRANSPORTATION

Public Space Permits - Art Installations



Purpose:

To provide a brief informative guide on what permits are required for art installations in public space and what to expect during the permit process.

Presenter Information & Permit POC:

Tiffany Tenbrook, MPP City-Wide Support Services Manager (Construction) Public Space Regulation Division District Department of Transportation

- o. 202.478-9193
- m. 202.907-7224
- e. tiffany.tenbrook@dc.gov



What is public space?

Public Space is defined as all the publicly owned property between the property lines on a street and includes, but is not limited to, the roadway, tree spaces, sidewalks, and alleys.

When is a permit required?

A public space permit is required to temporarily or permanently reserve public space. (DCMR Title 24 – Public Space & Safety)

What permits are needed?

- A construction permit will be required if work performed is permanent in nature; this typically involves an excavation activity and/or is a projection in public space.

- An occupancy permit is required to temporarily utilize public space for an activity that will leave the public space unchanged at the end of the activity.

Note: Depending on the work performed in public space, both a construction permit and occupancy permit may be required.



Temporary vs. Permanent Uses of Public Space

Examples of temporary use of public space for an Occupancy Permit:

- A staging area for a boom lift to paint a mural on side of a building.
- Use of the curb parking lane or sidewalk to place a mobile art container.
- Reservation of sidewalk and curb lane to load/unload art material.

Examples of permanent use of public space for a Construction Permit:

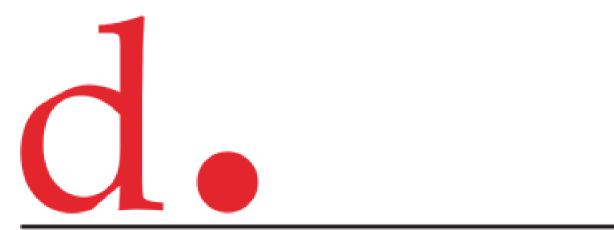
- Install a statue/sculpture in front of a building in grassy area or sidewalk.
- A property owner installed a commemorative bench in grassy area behind the sidewalk.
- Raised Planter boxes behind the sidewalk



Permit Process & Timeline

TOPS Website: tops.ddot.dc.gov (Click on "Register" to create login & password)

Temporary Use – Occupancy Permit Type: Permanent Use - Construction Permit Type: Other Work-Related Occupancy Street Furniture or Fixture Criteria: Criteria: There is no excavation or permanent affixing a structure - The work is permanent (not DDOT maintained) Public Space Committee - <u>https://pschearing.dc.gov/</u> in the public right of way - Permit duration is one year from PSC approval This permit type will allow a permit duration up to 6-- Renewals are in 60-day increments months. The duration of your permit will include both the install - Permit fees are driven by regulation Required Documents: and removal activity. Permit fees/deposits are assessed based on permit Advisory Neighborhood Commission support letter duration and space reserved. - CA Approval letter Required Documents: - Specifications of Art - Rendering of Proposed Art - CAH Approval letter - Site plan w/dimensions of installation relative to - Simple site plan w/dimensions of installation relative to sidewalk, curb etc. sidewalk, curb etc. Include safe measures for installation. - Covenant of Maintenance Agreement Certificate of Insurance (specific cases) An Occupancy Permit is also required for installation. 60-Business Day Review Period 15-Business Day Review Period



District Department of Transportation

250 M St SE | Washington, DC 20003 | 202.673.6813







LEGAL AUTHORITY AND APPLICABILITY OF HISTORIC PRESERVATION REVIEW

Public Art Building Communities Grant applications subject to review by DC State Historic Preservation Office (SHPO / HPO) in accordance with Federal historic preservation law (Section 106 of the National Historic Preservation Act) since the program is funded, in part, through a grant from the Federal National Endowment of the Arts.

Applications also subject to review by SHPO and, potentially the DC Historic Preservation Review Board (HPRB), in accordance with the DC Historic Landmark and Historic District Protection Act when projects propose subdivision, alteration, new construction or demolition of historic landmarks, within historic districts and/or on property owned by, or under the jurisdiction of the DC government.

Properties do not have to be formally designated as "historic" if SHPO determines they are "eligible" for listing in the National Register of Historic Places and/or the DC Inventory of Historic Sites.

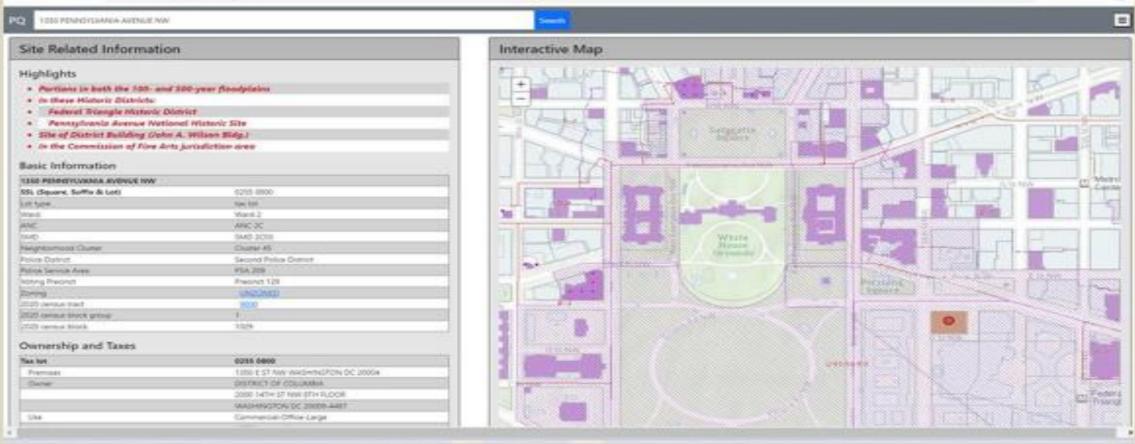
In rare cases, a property may be subject to a historic preservation easement that requires review and approval by SHPO or another entity such as the L'Enfant Trust.



IS THE PROJECT SITE HISTORIC?

PROPERTYQUEST (www.propertyquest.dc.gov)

C propertyquest.dc.gov



Q 22 2 2 3 1 1



SHPO is supportive of public art projects and has reviewed more than 30 applications since 2019.

Historic preservation review focuses on ensuring compatibility of projects with historic contexts and avoiding anything that would damage, significantly alter, harm or otherwise detract from or diminish the integrity of historic properties and their settings (i.e. "adverse effects").

SHPO has never formally determined a project was incompatible or would cause an "adverse effect" on historic properties but has recommended against some proposals and conditioned approval on certain project modifications.

HPRB review has also been required for at least one public art project.



WHAT CONSTITUES HISTORIC PRESERVATION REVIEW

SHPO review is typically limited to comments based upon the application materials submitted by the DC Commission on the Arts and Humanities. Most historic preservation concerns, if any, will be addressed through comments or conditions cited in SHPO's response memo.

If the project requires a permit from the Department of Buildings (DOB), SHPO will also sign off on the permit provided the drawings submitted through DOB's Projectdox system are consistent with the comments in our initial memo.

In rare instances, the project may require review by HPRB. These will generally be limited to cases involving the painting of unpainted masonry on a landmark building and/or significant new construction (e.g. large public art requiring a foundation, etc.)

If unavoidable adverse effects are identified, the project may require further consultation in accordance with Section 106 of the National Historic Preservation Act to develop a Memorandum of Agreement that identifies avoidance, minimization and/or mitigation measures but this has never occurred.



WHAT CONSTITUES HISTORIC PRESERVATION REVIEW



June 27, 2022

Ms. Kerry Kennedy Public Art Program Coordinator DC Commission on the Arts and Humanities 2001 Street, SE, Suite 1400 Washington, DC 20003

RE: Historic Preservation Review of Proposed DC Commission on the Arts and Humanities (DCCAH) Public Art Building Communities (PABC) Grant; SW BID; 4th Street Underpass Murals Project

Dear Ms. Kennedy:

The District of Columbia State Historic Preservation Office (SHPO) was contacted by the SW Business Improvement District (SW BID), the applicant for the above-referenced DC Commission on the Arts and Humanities grant. This letter provides our comments regarding the grant in accordance with the DC Historic Landmark and Historic District Protection Act of 1978.

Based upon the information we have been provided to date, we understand that the applicant proposes to install twelve murals on either side of the 4th Street, SW underpass below 1-695.

We have no objection to DCCAH awarding this grant and we do not anticipate having any concerns if any aspect of the proposed project requires our review of a permit issued by the DC Department of Consumer and Regulatory Affairs (DCRA). However, if our review of the permit raises any historic preservation concerns, the project may need to be modified to address those concerns.

If you should have any questions or comments regarding this matter, please contact me at andrew lewis@rdc.gov or 202-442-8841. Otherwise, thank you for providing an early opportunity to review and comment.

Since

Senior Historic Preservation Officer DC State Historic Preservation Office



Historic preservation concerns/more detailed reviews often result from certain themes:

- Painting unpainted masonry is not recommended. Painting can cause adverse effects by trapping water inside masonry and causing damage via the freeze-thaw cycle and/or by significantly altering the appearance of a historic building in an incompatible manner. To address these concerns:
 - Avoid selecting historic buildings (especially landmarks) for murals.
 - If murals are proposed within historic districts, select non-contributing (i.e. later, non-historic buildings) if possible and/or walls that have already been painted.
 - o Do not propose murals on the primary (front) elevation of any historic building.
 - Avoid selecting corner buildings because all sides are highly visible.
 - Consider painting the mural on panels that can be attached through the mortar joints to avoid damage to the historic building.



- 2. Physical damage to historic properties should be avoided.
 - Design projects so that historic buildings or objects are not damaged (e.g. alterations the historic fire and police call boxes should be reversible and should not alter the historic objects in any way).





EXAMPLES OF POTENTIAL HISTORIC PRESERVATION CONCERNS / MORE DETAILED REVIEW PROCESSES

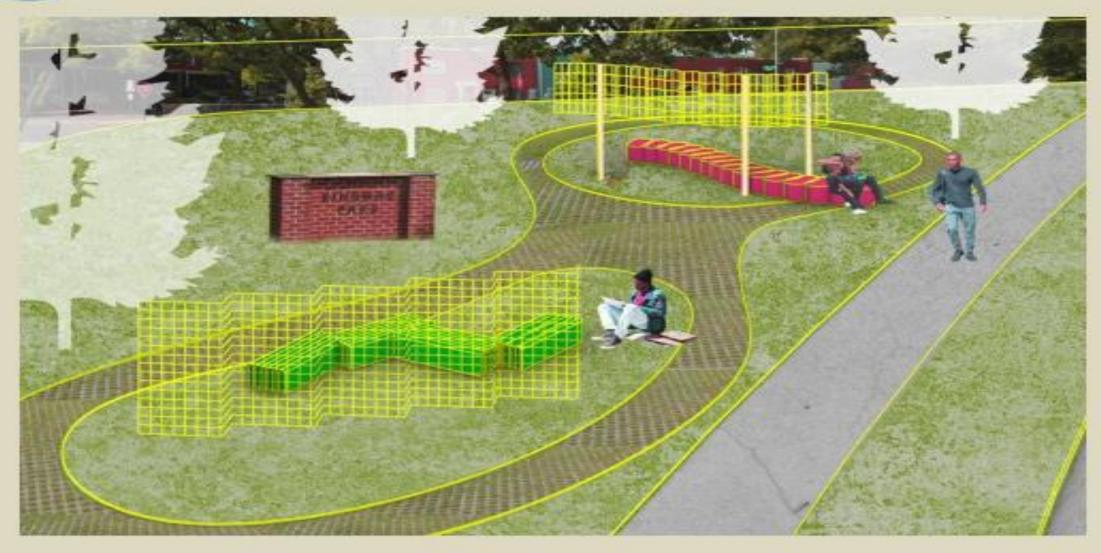
- Ground Disturbance will require Archaeological Review. Historic properties include those that are significant for their archaeological significance. Any significant ground disturbance (e.g. trenching for utilities or digging foundations for large, permanent sculptures) will require review by the City Archaeologist.
 - If a proposal may involve ground disturbance, contact the City Archaeologist Ruth Trocolli at 202-442-8836 / <u>ruth.trocolli@dc.gov</u> as soon as possible.



- 4. Historic Preservation Review Board Review. HPRB review may be required for large, permanent, installations that require a DC building permit and/or painting unpainted landmarks. If SHPO advises that HPRB review may be required:
 - Coordinate with the Department of Buildings (DOB) to determine whether a DC building permit will be required.
 - If a permit is required, plan for additional review time since HPRB has a set meeting scheduled (once or twice each month except August), has specific submission requirements and may require revisions and/or multiple reviews of an application.
 - Coordinate closely with the affected Advisory Neighborhood Commission(s) (ANC)s since HPRB gives "great weight" to ANC views and their support or opposition will be factor into HPRB's final decision.

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EXAMPLES OF POTENTIAL HISTORIC PRESERVATION CONCERNS / MORE DETAILED REVIEW PROCESS



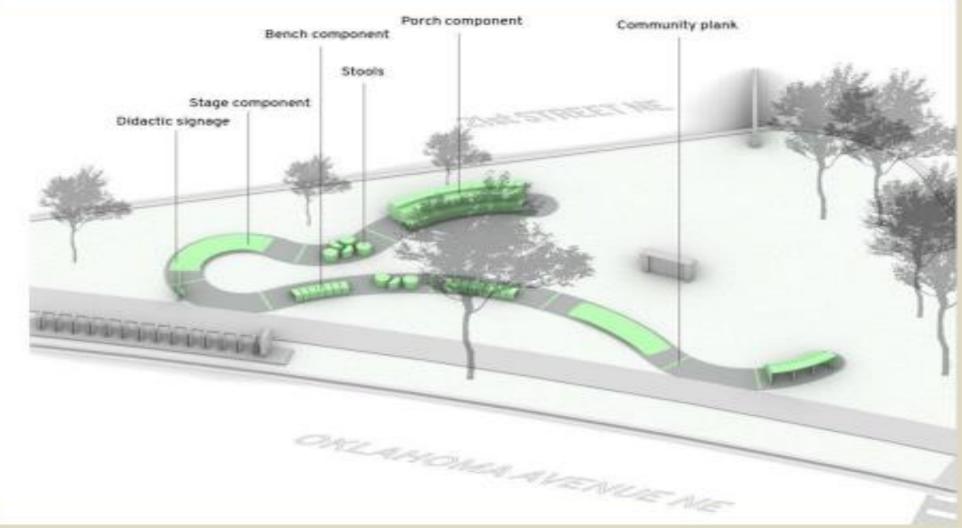


EXAMPLES OF POTENTIAL HISTORIC PRESERVATION CONCERNS / MORE DETAILED REVIEW PROCESSES

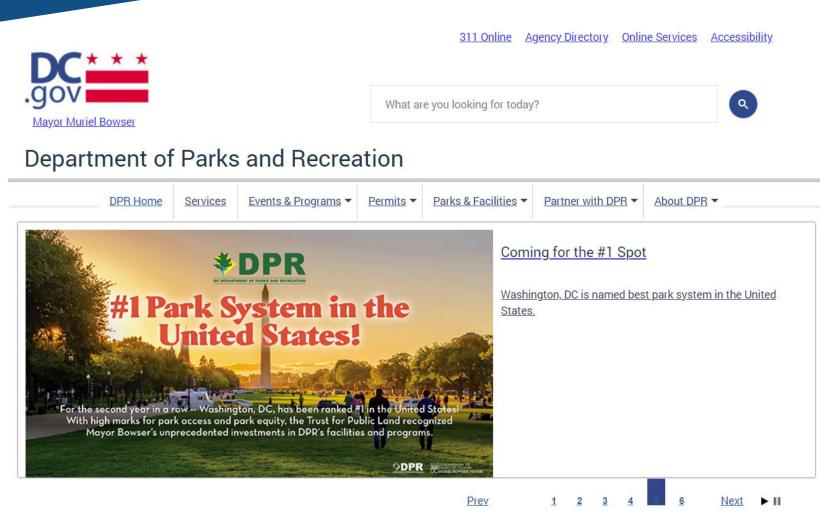




EXAMPLES OF POTENTIAL HISTORIC PRESERVATION CONCERNS / MORE DETAILED REVIEW PROCESSES



DC COMMISSION ₩ ARTS & HUMANITIES



Featured Services

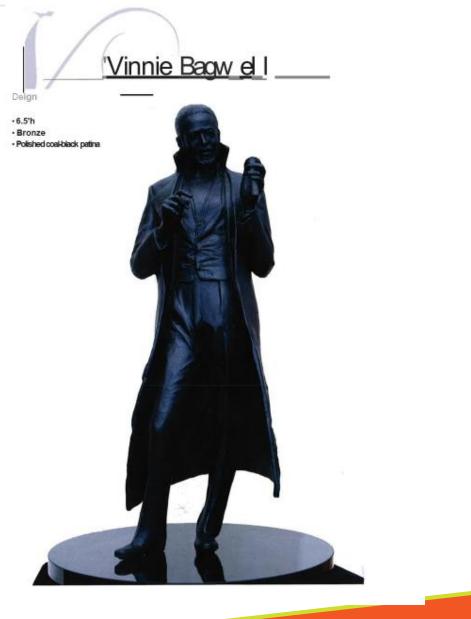
GOVERNMENT OF THE



<u>Marvin Gaye</u> Bronze Sculpture by Vinnie Bagwell

DPR/DGS hired sculptor through proposals and maquettes

Installed at Marvin Gaye Recreation Center as part of the Capital Project 1% Budget for the Arts



<u>.Vinnie Bagw el l</u>

• 6,5'h • Bronze • Polished coal-black palina

GOVERNMENT OF THE



Specifications

Pedestat: 48'd x 6'h | Mesabi® Back Granite | Diamond-10 Finish | 3'x 3' Bevei | indised text and graphic
 Apron: 72'd x 12'w 175'h | Mesabi® Back Granite | Diamond-10 Finish 11.5' x1.5' Bevei | (8) Sections
 Cement step: 95'd x 6''h

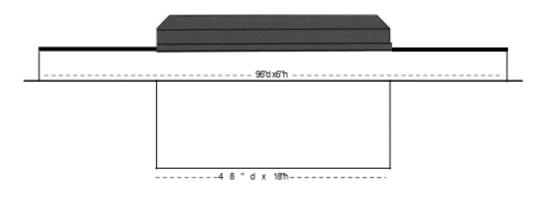




Elevation

Pedestal: 48°d x 6°h

• Aprox 72"dx 1.75"h • Step: 98"dx 6" | Cement | Grade level • Foundation: 48"dx 18"h



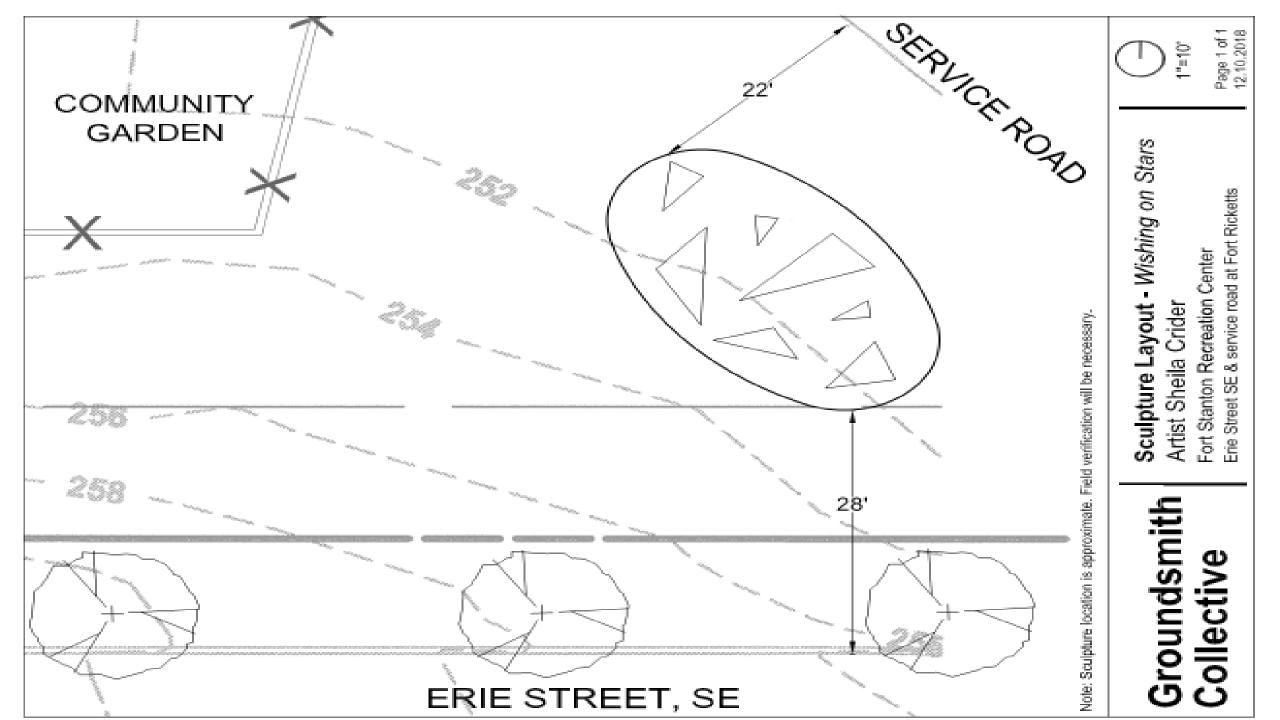


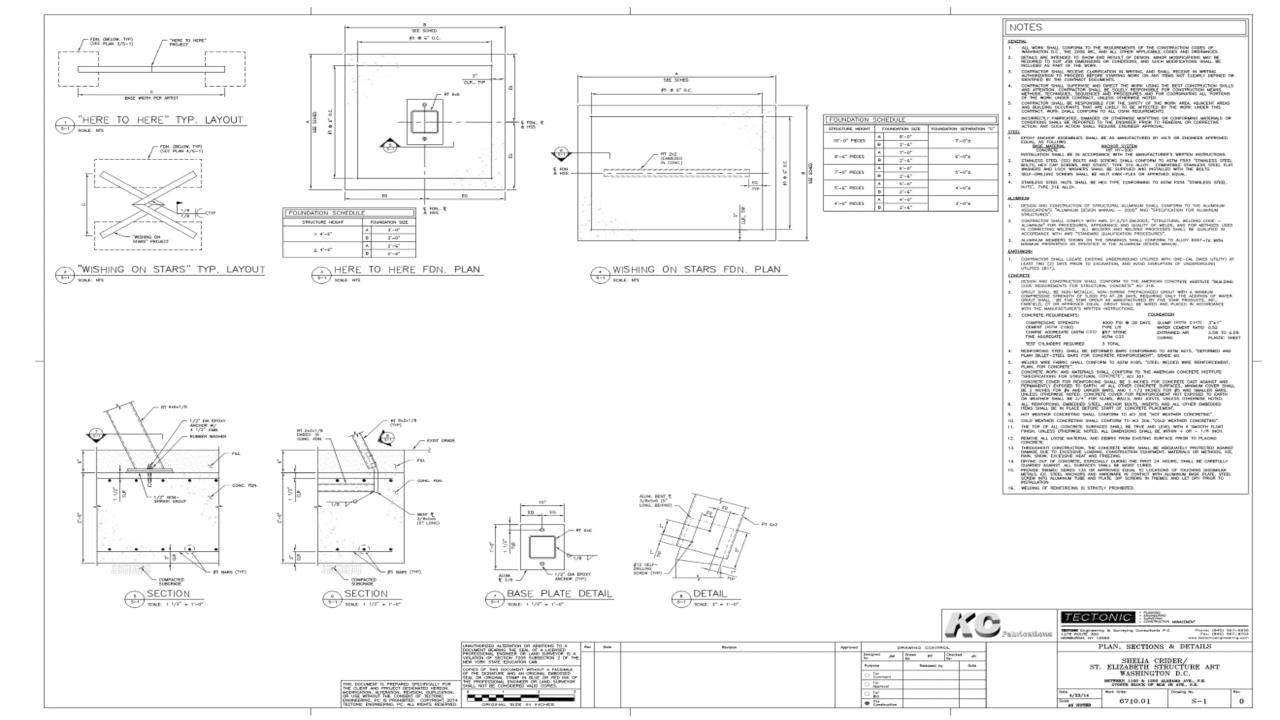










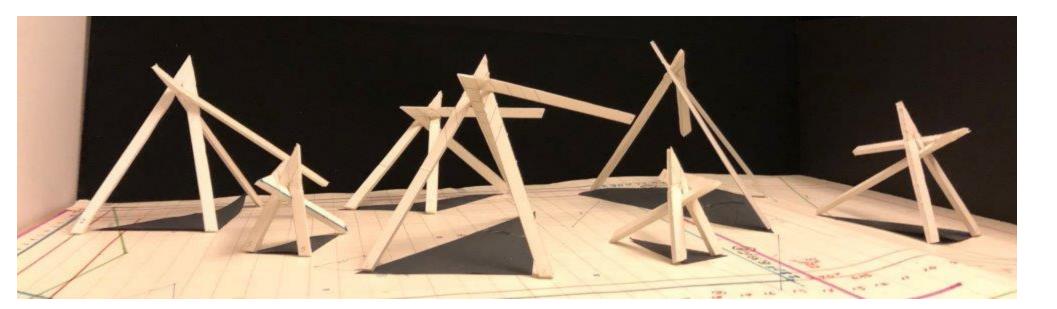




Wishing on a Star:

Painted Steel Sculpture by Sheila Crider

This was a piece relocated by CAH onto Fort Stanton originally from Saint Elizabeth's Campus













Proposed Plan - Concept Use Diagram

<u>NJ&O Park:</u> Two potential sculptures needed through Option A:

Capital Project Budget 1% for the Arts

Option B: CAH Grant

Option C:

Donation or relocation



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★ ★ GOVERNMENT OF THE DISTRICT OF COLUMBIA



DC Department of Buildings Contact

To inquire about building/construction permits and requirements and, please contact Jill Byrd at the DC Department of Buildings at <u>Jill.Byrd@dc.gov</u> with a copy to <u>kerry.kennedy@dc.gov</u>. Please submit your request **thirty (30) days prior** to the grant application deadline.

DC Department of Transportation

Stephen Varga at the DC Department of Transportation at <u>Stephen.Varga@dc.gov</u> with a copy to <u>kerry.kennedy@dc.gov</u>. Please submit your request **at least two (2) weeks prior** to the grant application deadline.



Office of Planning Historical Preservation Contact

To inquire about the historic preservation status of your potential site, please contact Andrew Lewis at the DC Historic Preservation Office at <u>Andrew.Lewis@dc.gov</u> with a copy to <u>kerry.kennedy@dc.gov</u> The timeframe for review is generally 30 (thirty) days from the date of receipt. Applicants are encouraged to submit review requests up to **45 (forty-five) days** prior to the grant application deadline.

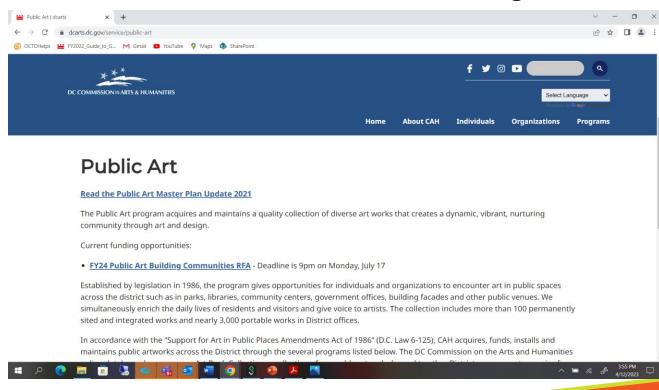
Department of Park and Recreation

If the project is anticipated to be on Department of Park and Recreation (DPR) property, please contact Tierney, Christopher (DPR) <u>Christopher.Tierney@dc.gov</u> with a copy to <u>kerry.kennedy@dc.gov</u> Please submit your request and supporting information noted above at **least thirty (30) days prior** to the grant application deadline. ANC awareness and/or approval is necessary before DPR can review the proposal.



For more information on Commission On The Arts and Humanities Public Art Grant Programs

Go to Our website at https://dcarts.dc.gov/service/public-art



under Programs-Public Art-Grants





THANK YOU!

